



TOWN OF ERIN  
COMMITTEE OF ADJUSTMENT  
AGENDA

July 17, 2024

6:00 PM

Municipal Council Chamber

Pages

1. **Call to Order**
2. **Approval of Agenda**
3. **Declaration of Pecuniary Interest**
4. **Requests for Withdrawal or Deferral of Application**  
A07-24 4972 Third Line  
A08-24 Part Lot 7, Concession 5 (Part 2 Plan 61R-22250)
5. **Notices** 1 - 5  
A09-24 185 Main Street
6. **Applications**
  - 6.1 File Number: A09-24 185 Main Street
    - 6.1.1 Planning Report 6 - 12
    - 6.1.2 Correspondence 13 - 23
    - 6.1.3 Comments
    - 6.1.4 Decision of the Committee
7. **Adoption of Minutes**
  - 7.1 June 19, 2024 Committee of Adjustment Meeting 24 - 26
8. **Adjournment**



**TOWN OF ERIN COMMITTEE OF ADJUSTMENT  
NOTICE OF PUBLIC HEARING  
OF APPLICATION FOR MINOR VARIANCE  
A09-24**

*Planning Act, R.S.O. 1990, Chap.P.13, ss.45 (5)*

The Committee will give consideration to the minor variance application on:

**Date: Wednesday, July 17, 2024, at 6:00 pm**

**Location: In-person at Town Hall, Council Chambers, 5684 Trafalgar Road**

Please submit written submissions and/or register to make oral submissions prior to **4:00 p.m.** on the consideration date. The public is encouraged to make oral submissions by pre-registering with the Secretary-Treasurer of the Committee of Adjustment by emailing [coa@erin.ca](mailto:coa@erin.ca) or calling the contact information listed below with your name and phone number. Please indicate the application number or address of the property you wish to speak to.

Your submissions, including any personal information you provide, will become part of the decision making process of the application and will be posted on the internet. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c.M56*, as amended, public feedback to planning proposals is considered a public record and will be disclosed to any individual upon request.

#### **APPLICANT AND PROPERTY INFORMATION**

File Number: <b>A09-24</b>	Subject Property Zoned: <b>MU-3(H)</b>
Owners: <b>2584343 Ontario Inc.</b>	Zoning By-law: <b>07-67</b>
	Amended by By-law: <b>18-34, 21-16, 22-43</b>
Property Address: <b>185 Main Street</b>	
Legal Description: <b>Lot 21, Registered Plan #102</b>	

#### **PURPOSE OF APPLICATION**

The applicant is applying for relief from Section 14 of Zoning By-law 07-67, as amended by By-laws 18-34, 21-16, and 22-43, and more specifically Schedule 2 of amending By-law 21-16, in order to relocate surface visitor parking from the English Street frontage to the Scotch Street frontage and other building setback adjustments related to those provisions as detailed below:

#### **REQUESTED VARIANCES**

Details of the variances are as follows:

By-law Requirement	Relief Applied For
<b>Block 6 to English Street on draft Site Plan</b>	
Minimum setback of 20.5 metres is required	4.8 metres is proposed; variance of 15.7 metres is requested



**TOWN OF ERIN COMMITTEE OF ADJUSTMENT  
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A09-24**  
*Planning Act, R.S.O. 1990, Chap.P.13, ss.45 (5)*

<b>By-law Requirement</b>	<b>Relief Applied For</b>
<b>Blocks 4 and 5 on draft Site Plan</b>	
Minimum distance between Blocks 4 and 5 ground floor main wall of 13.0 metres is required	11.5 metres is proposed; variance of 1.5 metres is requested
<b>Block 8 to Scotch Street on draft Site Plan</b>	
Minimum setback from Block 8 to Scotch Street of 4.7 metres is required	3.5 metres is proposed; variance of 1.2 metres is requested
<b>Blocks 7 and 8 on draft Site Plan</b>	
Minimum distance between Blocks 7 and 8 ground (first) floor main wall of 20.0 metres is required	19.75 metres is proposed; variance of 0.25 m is requested
<b>Blocks 4, 5 and 6 on draft Site Plan</b>	
Minimum Sideyard setback of 2.2 metres is required	1.5 metre setback to the ground floor main wall and 1.0 metre to floors above ground floor are proposed; variance of 0.70 metres to the ground floor wall and 1.2 metres to the floors above the ground floor are requested
Minimum Sideyard setback of 1.3 metres is required	1.2 metre setback is proposed to floors above ground (first) floor main wall; variance of 0.10 metres is requested

**THIS PROPERTY** is also subject to an application for Site Plan Control (SP07-22).

#### **PUBLIC PARTICIPATION**

Any person or public body is entitled to attend the public meeting and make written or oral submissions on the proposed variance.

#### **NOTICE OF DECISION AND APPEAL RIGHTS**

If you wish to be notified of the decision of the Committee of Adjustment for the Town of Erin in respect of this application, you must submit a written request to the Secretary-Treasurer of the Committee of Adjustment for the Town of Erin at the address provided below or by email to [coa@erin.ca](mailto:coa@erin.ca).

Be advised that only the applicant, the Minister or a specified person or public body that has an interest in the matter may appeal the decision of the Committee to the appeal body in accordance with subsection 45(12) of the *Planning Act, R.S.O 1990 c. P.13*.



**TOWN OF ERIN COMMITTEE OF ADJUSTMENT  
NOTICE OF PUBLIC HEARING  
OF APPLICATION FOR MINOR VARIANCE  
A09-24**

*Planning Act, R.S.O. 1990, Chap.P.13, ss.45 (5)*

**IT IS REQUESTED THAT** this notice be posted by the owner of any land that contains seven or more residential units in a location that is visible to all residents.

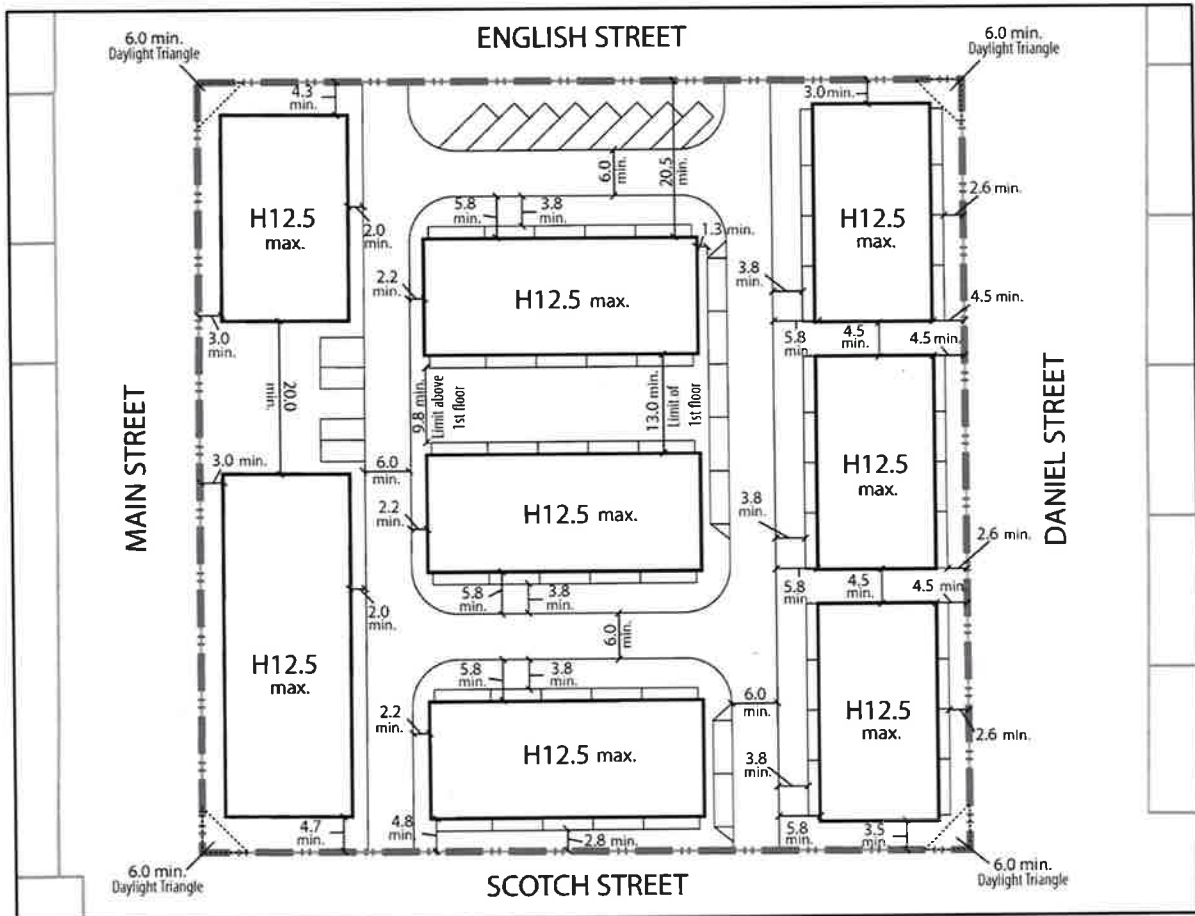
**ADDITIONAL INFORMATION** regarding this application, including information about appeal rights, is available between 8:30 a.m. and 4:30 p.m. at the Town of Erin Municipal Office.

Dated at the Town of Erin  
This 3<sup>rd</sup> day of July, 2024.

Justin Grainger, Secretary-Treasurer  
Town of Erin  
5684 Trafalgar Road  
Hillsburgh, ON N0B 1Z0  
P 519.855.4407 x223



SCHEDULE 2  
TO ZONING BY-LAW No. 2021-16  
THE CORPORATION OF THE TOWN OF ERIN



Note: Not to Scale



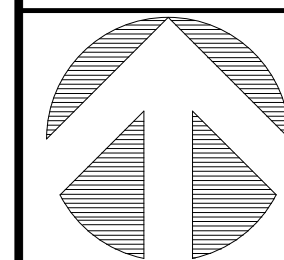
THIS SCHEDULE 2 TO BY-LAW No. 2021-16 PASSES ON THE 6<sup>th</sup> DAY OF April, 2021

MAYOR

CLERK



**15 Yarmouth Street  
Guelph, Ontario, N1H 4G2  
Tel: 519.766.1580  
Fax: 519.766.1377  
Email: [info@grinham.ca](mailto:info@grinham.ca)  
Web: [www.grinham.ca](http://www.grinham.ca)**



ACTUAL NORTH

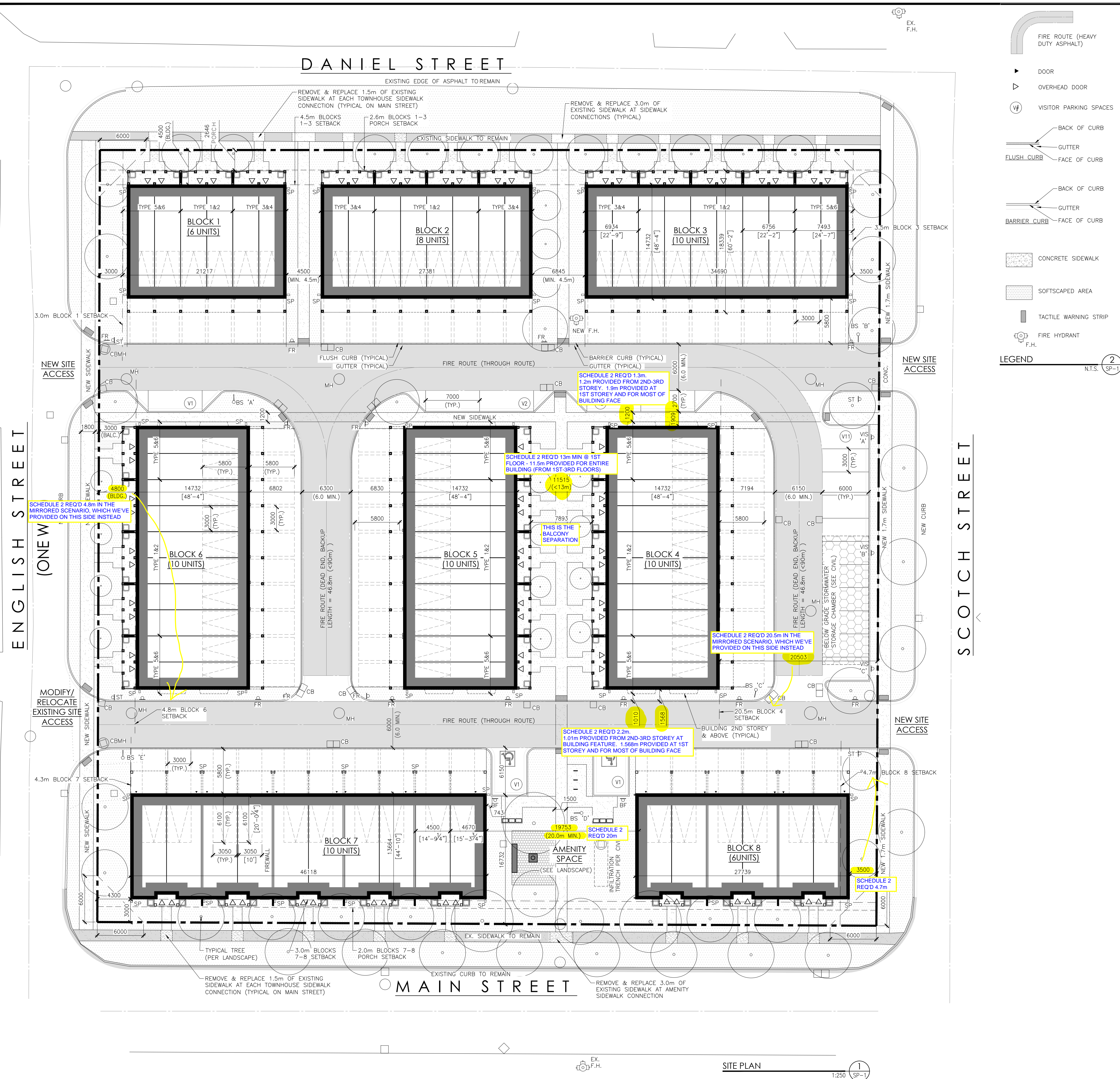
DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE ARCHITECT AS INSTRUMENTS OF HIS SERVICE AND MUST BE RETURNED AT HIS REQUEST.

DO NOT SCALE DRAWINGS.

NO.	DATE	REVISIONS
01	18-NOV-2022	DRAFT SP TO PLANNER FOR REVIEW
02	22-NOV-2022	SITE PLAN DRAFT 2 TO PLANNER
03	25-NOV-2022	SPA 1ST SUBMISSION
04	11-AUG-2023	ISSUED FOR COORDINATION
05	17-AUG-2023	ISSUED FOR COORDINATION
06	03-OCT-2023	CLIENT REVIEW
07	30-OCT-2023	SPA 2ND SUBMISSION
08	24-MAY-2024	COORDINATION
09	31-MAY-2024	COORDINATION (REDUCE BLDG SIZE)
10	10-JUN-2024	SITE PLAN FOR TOWN DISCUSSION

## SITE PLAN

SP-1





## PLANNING REPORT

Corporation of the Town of Erin

5684 Trafalgar Road

RR2 Hillsburgh ON N0B 1Z0

(519) 855-4407 Ext. 253 Fax: (519) 855-4281

EMAIL: [planning@erin.ca](mailto:planning@erin.ca)

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**DATE:** July 17, 2024

**TO:** Justin Grainger, Secretary Treasurer  
Town of Erin Committee of Adjustment

**FROM:** Angela Sciberras, Principal, Macaulay Shiomi Howson Ltd.

**SUBJECT:** MINOR VARIANCE APPLICATION A09-24  
(2584343 Ontario Inc.)  
185 Main Street; Lot 21, Registered Plan No. 102  
Town of Erin, Ontario

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### Application

The applicant requests relief from Section 14 of Zoning By-law 07-67, as amended, specifically Schedule 2 of amending By-law 21-16, (see **Attachment A**), to permit:

1. On Block 6, on the Site Plan (see **Attachment B**)
  - A minimum setback of 4.8 metres from English Street, whereas the By-law provides that the minimum rear yard shall be 20.5 metres.
2. On Blocks 4 and 5, on the Site Plan (see **Attachment B**)
  - A minimum distance between the ground floor main wall of Blocks 4 & 5 of 11.5 metres, whereas the By-law provides that the minimum distance shall be 13.0 metres.
3. On Block 8, on the Site Plan (see **Attachment B**)
  - A minimum setback of 3.5 metres from Scotch Street, whereas the By-law provides that the minimum setback shall be 4.7 metres.
4. On Blocks 7 and 8, on the Site Plan (see **Attachment B**)
  - A minimum distance between the ground floor main wall of Blocks 7 & 8 of 19.75 metres, whereas the By-law provides that the minimum distance shall be 20.0 metres.
5. On Blocks 4, 5 and 6, on the Site Plan (see **Attachment B**)
  - A minimum sideyard setback (south side) of 1.5 metres to the ground floor main wall and 1.0 metre to floors above ground floor, whereas the By-law provides that the minimum distance shall be 2.2 metres.
  - A minimum sideyard setback (north side) of 1.2 metres to floors above ground floor main wall, whereas the By-law provides that the minimum distance shall be 1.3 metres.



The applicant requests approval of this application, in order to address the zoning provision deficiencies as a result of a modification to the proposed Site Plan.

## Recommendation

It is Planning Staff's opinion that the variances are minor in nature, desirable for the appropriate development of the land, and meets the intent of Erin's Official Plan and Zoning By-law, and therefore recommends **Approval** of the proposed variances.

## DISCUSSION

An application for Zoning By-law Amendment (Z19-05) was approved by Council on April 6, 2021 (By-law 21-16) to permit the development of 70 condominium townhouse units on the subject site (former Erin Public School site). Given the nature of the development, and the interest in the application by the community and Council, a "Schedule 2" was appended to By-law 21-16 which specified townhouse block setbacks and building height.

In 2022, the applicant applied for Site Plan Approval (SP07-22) and retained a new architect. Through refinement of the building design, modifications were made to the Site Plan, the most significant of which was the relocation of surface visitor parking from the English Street frontage to the Scotch Street frontage. This modification along with other refinements resulted in the need for relief from various building setback provisions.

Should the Committee approve the requested variances, the applicant will provide a resubmission to their Site Plan application reflecting the changes.

Our Discussion of this application relative to the four tests under the *Planning Act* is as follows:

Four Tests	Discussion
That the general intent and purpose of the <b>Official Plan</b> is maintained.	<ul style="list-style-type: none"> <li>The property is designated "Residential Transition Area" in the Town of Erin Official Plan which permits the proposed development.</li> <li>Town Planning staff are of the opinion that the proposed variances associated with development are in keeping with the general intent and purpose of the Town of Erin Official Plan.</li> </ul>
That the general intent and purpose of the <b>Zoning By-law</b> is maintained.	<ul style="list-style-type: none"> <li>The residential development received approval for a Zoning By-law Amendment on April 6, 2021 (By-law 21-16). <ul style="list-style-type: none"> <li>The property is zoned Mixed Use (MU-3(H))</li> </ul> </li> <li>The minimum rear yard setback requirements serve to ensure that adequate separation from buildings within the subject site and on adjacent properties is maintained.</li> <li>The general intent and purpose of the Zoning By-law is to regulate land uses and specifications, as it relates to the placement of buildings and structures on land.</li> </ul>



	<p><b>1. Block 6 Variance</b></p> <ul style="list-style-type: none"> <li>• The requested variance is 15.7 metres; however, it reflects the relocation of the proposed visitor parking to Scotch Street. The required 20.5 m setback will be provided on Scotch Street. The setback of 4.8 metres from English Street, reflects the current required setback from Scotch Street.</li> <li>• The general purpose and intent of the Zoning By-law is maintained.</li> </ul> <p><b>2. Blocks 4 and 5 Variance</b></p> <ul style="list-style-type: none"> <li>• The requested variance is 1.5 metres. The intent of the setback is to ensure separation between buildings and allow for common at-grade outdoor landscaped area. The requested variance continues to provide this.</li> <li>• The general purpose and intent of the Zoning By-law is maintained.</li> </ul> <p><b>3. Block 8 Variance</b></p> <ul style="list-style-type: none"> <li>• The requested variance is 1.2 metres. This variance is a result of modifications to the building design.</li> <li>• The general purpose and intent of the Zoning By-law is maintained.</li> </ul> <p><b>4. Blocks 7 and 8 Variance</b></p> <ul style="list-style-type: none"> <li>• The requested variance is 0.25 metres. The intent of the provision is to provide for an open space/amenity area, street views and landscaped feature along the Main Street frontage. Minor reduction to the Block 8 sideyard (Item 3 above) have allowed for integrity of this area to be maintained.</li> <li>• The general purpose and intent of the Zoning By-law is maintained.</li> </ul> <p><b>5. Blocks 4, 5 and 6 Variance</b> (South Sideyard)</p> <ul style="list-style-type: none"> <li>• The requested variances are 0.70 metres and 1.2 metres. This provision reflects an internal Sideyard requirement and has no impact on adjacent properties. This variance is a result of modifications to the building design.</li> </ul> <p>(North Sideyard)</p> <ul style="list-style-type: none"> <li>• The requested variance is 0.10 metres. This provision reflects an internal Sideyard requirement and has no impact on adjacent properties. This</li> </ul>
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	<p>variance is a result of modifications to the building design.</p> <ul style="list-style-type: none"> <li>The general purpose and intent of the Zoning By-law is maintained.</li> </ul>
The variances are <b>desirable</b> for the appropriate development and use of the land, building, or structure.	<ul style="list-style-type: none"> <li>The proposed variances are generally a result of “flipping” the layout of Blocks 4, 5 and 6 in order to locate surface visitor parking on Scotch Street which has predominantly commercial zoned uses across from the subject site. This will provide residential unit facades across from existing residential dwellings on English Street. Other minor modifications are a result of building design refinement through the Site Plan application process.</li> <li>The proposed variances do not affect the overall development envisaged through the approved Zoning By-law; and, will facilitate the permitted construction of the residential dwellings, which contributes to the need for more housing.</li> </ul>
The variances are <b>minor</b> in nature.	<ul style="list-style-type: none"> <li>The requested variances are minor in nature, as they do not result in any significant changes to the function of the proposed residential development. The variances continue to maintain the site layout and function of the approved Zoning By-law.</li> </ul>

## PUBLIC, AGENCY, & TOWN COMMENTS

### County of Wellington Planning

- Overall, Staff do not have any concerns with the proposed Minor Variance application.

### County of Wellington Roads

- As of writing this report, no comments received.

### Town of Erin Building Services

- As of writing this report, no comments received.

### Town of Erin Fire Services

- As of writing this report, no comments received.

### Town of Erin Engineering Peer Review (Ainley Group)

- As noted in the Minor Variance application (MVA), the Site Plan is being reviewed.
- A concern with reduced setbacks is that grading for runoff and for swales will be feasible. Ainley has requested more details with respect to the grading. The comments are based on a Site Plan that already shows the reduced setbacks

requested in the MVA, and therefore, grading appears to be feasible once the comments are addressed.

- The comments on the 2<sup>nd</sup> Site Plan Submission do not appear to impact the MVA and can be addressed as part of further Site Plan Development review.

#### Canada Post

- Canada Post has reviewed the proposal for the MV application and has determined that the completed project will be serviced by centralized mail delivery provided through Canada Post Community Mail Boxes.

#### Source Water Protection

- No Notice is required for this proposal. WSWP Staff have no objection to the proposed Minor Variances.
- Subject property is located within a Highly Vulnerable Aquifer (HVA).
- There are no significant drinking water threat policies applicable to this property, however there are moderate/low policies related to the application of road salt.
- WSWP will require a Salt Management Plan as part of the Site Plan Application approval process.

#### Upper Grand District School Board

- The Town is to provide confirmation that the proposed development will not exacerbate existing water and drainage issues identified at the existing Erin Public School.

#### Credit Valley Conservation Authority

- No comments.

Staff note that the comments received will be dealt with through the Site Plan Approval and Plan of Condominium processes and related development agreements.

In conclusion, Planning Staff is of the opinion that the requested variances meet the four tests of the *Planning Act*. We trust that these comments will be of assistance to the Committee in their consideration of this matter.

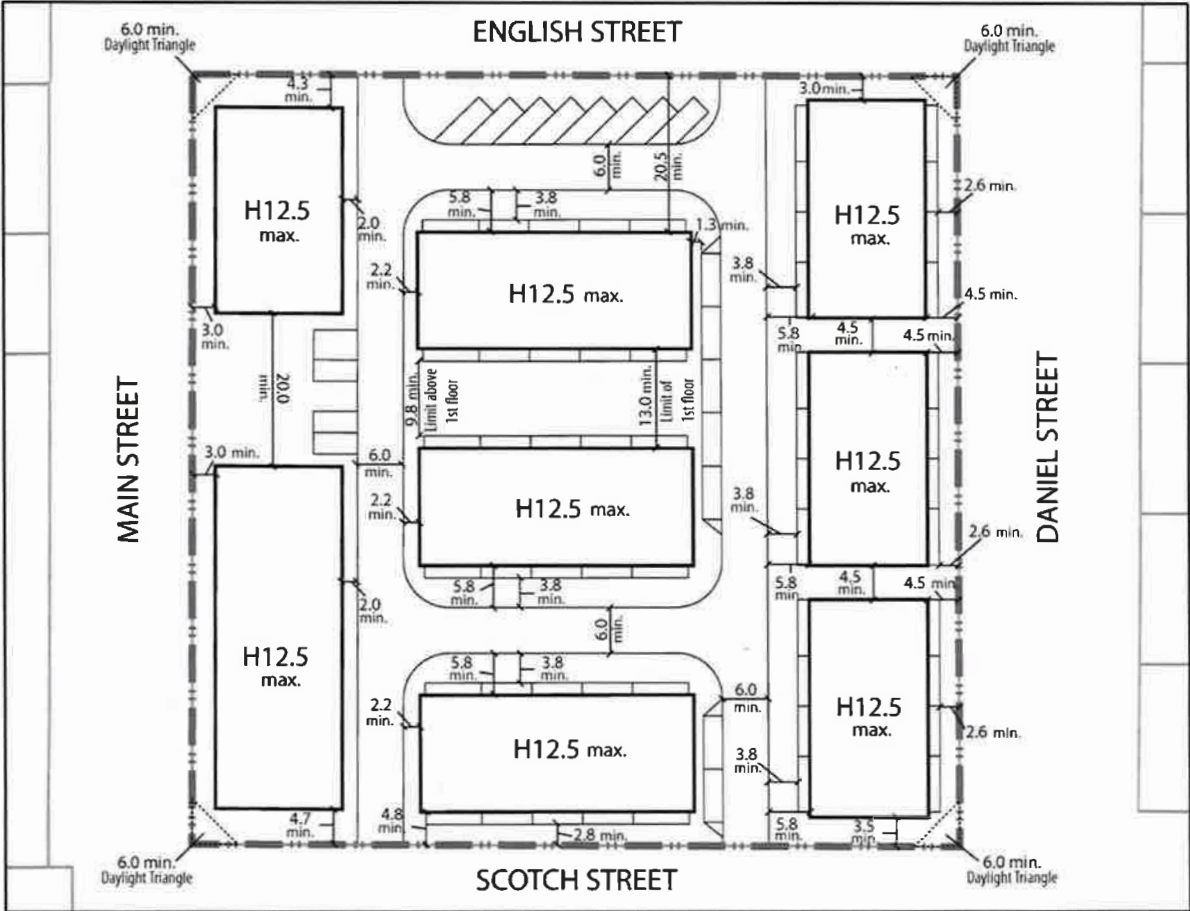
Sincerely,



Angela Sciberras, MCIP RPP  
Consultant on behalf of the Town

Attachment A – Amending By-law 21-16 ‘Schedule 2’  
Attachment B – Proposed Variances


SCHEDULE 2  
TO ZONING BY-LAW No. 2021-16  
THE CORPORATION OF THE TOWN OF ERIN




Note: Not to Scale



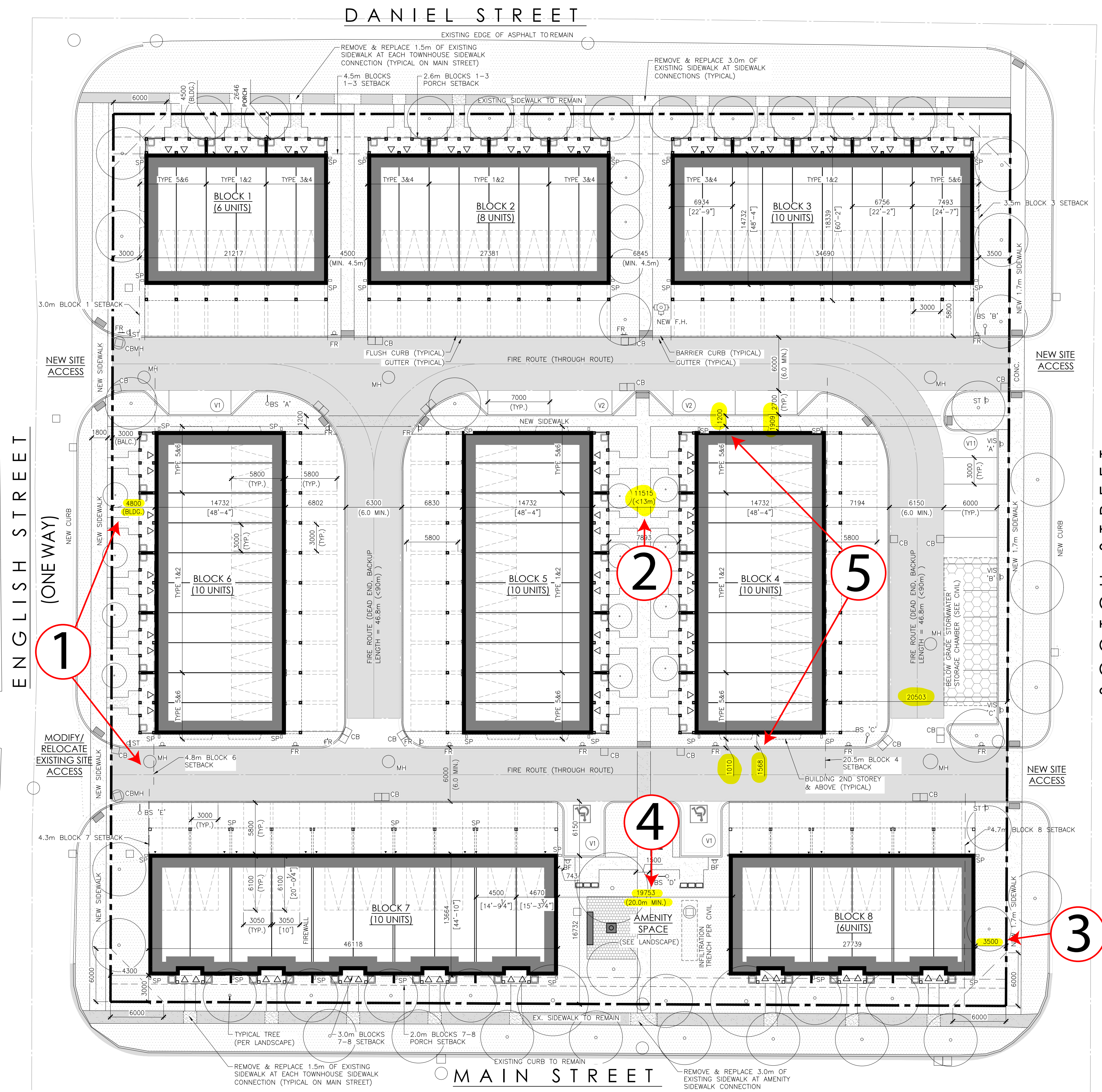
THIS SCHEDULE 2 TO BY-LAW No. 2021-16 PASSES ON THE 6<sup>th</sup> DAY OF April, 2021

  
MAYOR

  
CLERK



# ATTACHMENT B



## Requested Variances from By-law 07-67, as amended by By-law 21-16

- On Block 6,**
  - A minimum setback of 4.8 metres from English Street, whereas the By-law provides that the minimum rear yard shall be 20.5 metres.
- On Blocks 4 and 5,**
  - A minimum distance between the ground floor main wall of Blocks 4 & 5 of 11.5 metres, whereas the By-law provides that the minimum distance shall be 13.0 metres.
- On Block 8,**
  - A minimum setback of 3.5 metres from Scotch Street, whereas the By-law provides that the minimum setback shall be 4.7 metres.
- On Blocks 7 and 8,**
  - A minimum distance between the ground floor main wall of Blocks 7 & 8 of 19.75 metres, whereas the By-law provides that the minimum distance shall be 20.0 metres.
- On Blocks 4, 5 and 6,**
  - A minimum sideyard setback (south side) of 1.5 metres to the ground floor main wall and 1.0 metre to floors above ground floor, whereas the By-law provides that the minimum distance shall be 2.2 metres.
  - A minimum sideyard setback (north side) of 1.2 metres to floors above ground floor main wall, whereas the By-law provides that the minimum distance shall be 1.3 metres.



July 4, 2024

**Memorandum**

**To:** Justin Grainger – Deputy Clerk, Town of Erin

**Cc:** David Waters – Manager, Planning & Development, Town of Erin

**From:** Kim Funk – Source Protection Coordinator, Wellington Source Water Protection

**RE:** **185 Main Street, Town of Erin**  
**Minor Variance – A09-24**

Wellington Source Water Protection (WSWP) staff have had the opportunity to review the submitted documents in support of the above noted application. Pursuant to the *Clean Water Act*, there is no Notice required for this proposal. WSWP staff have no objection to the proposed Minor Variances.

The remainder of this memo will detail recommendations for a future Site Plan Application.

The subject property is located within the CTC Source Protection Region and is within a Highly Vulnerable Aquifer (HVA). There are no significant drinking water threat policies applicable to this property, however there are moderate/low policies related to the application of road salt. Please see attached CTC policy SAL-10 for further information.

It is recommended that the owners or their agents submit a Salt Management Plan to manage winter maintenance activities. It is understood that a Site Plan Application is currently under review and will be updated following the Minor Variance Application. It is recommended that the Salt Management Plan be submitted as part of the updated Site Plan Application.

For more information, please contact [sourcewater@centrewellington.ca](mailto:sourcewater@centrewellington.ca).

Sincerely,

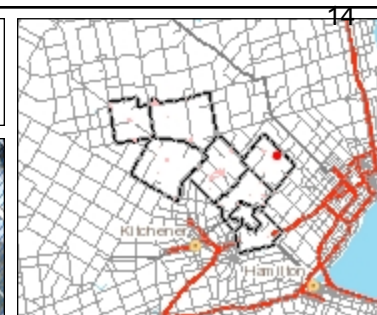
Digitally signed by Kim  
Funk  
Date: 2024-07-04  
16:23:04:00

Kim Funk, Source Protection Coordinator  
519-846-9691 ext 283  
[kfunk@centrewellington.ca](mailto:kfunk@centrewellington.ca)

Attachments: WHPA Map  
CTC Policy SAL-10

Town of Erin  
c/o Wellington Source Water Protection  
Risk Management Office, 1 Macdonald Square, Elora, ON. N0B 1S0  
1-844-383-9800 [sourcewater@centrewellington.ca](mailto:sourcewater@centrewellington.ca) [wellingtonwater.ca](http://wellingtonwater.ca)





### Legend

- Parcels
- Roads
  - Local Road
  - County Road
  - Highway
- Well Locations
  - Existing
  - Proposed
- Wellhead Protection Area
  - A
  - B
  - C
  - D
- Vulnerability Score
  - 10
  - 8, D; 8; 8, C
  - 2, 4, 6 (A, B or C)
  - 2,4,6, D; 2,4, D; 2, 4, 6 (D); 4, D; 6,
- HVA
- RoadsLookup

0.1 0 0.04 0.1 Kilometers

### Notes



Policy ID	Threat Description	Implementing Body	Legal Effect	Policy	Where Policy Applies	When Policy Applies	Related Policies	Monitoring Policy
SAL-10	Moderate/ Low Threats  Application of Road Salt	Planning Approval Authority	B	<b>Land Use Planning</b>  Where the application of road salt would be a moderate or low drinking water threat, the planning approval authority is encouraged to require a salt management plan, which includes a reduction in the future use of salt, as part of a complete application for development which includes new roads and parking lots in any of the following areas: <ul style="list-style-type: none"> <li>• WHPA-A (VS = 10) (existing, future); or</li> <li>• WHPA-B (VS ≤ 10) (future); or</li> <li>• WHPA-C (future); or</li> <li>• WHPA-D (future); or</li> <li>• WHPA-E (VS ≥ 4.5 and &lt;9) (future); or</li> <li>• HVA (future).</li> </ul> Such plans should include, but not be limited to, mitigation measures regarding design of parking lots, roadways and sidewalks to minimize the need for repeat application of road salt such as reducing ponding in parking areas, directing stormwater discharge outside of vulnerable areas where possible, and provisions to hire certified contractors.	See Chapter 5 of the respective Assessment Report	Future: Immediately (T-9)  Amend OPs for conformity and ZBLs within 3 years of OP approval (T-8)	N/A	N/A
SAL-11	Moderate/ Low Threats  Application of Road Salt	MECP	J	<b>Specify Action</b>  Where the application of road salt is, or would be, a moderate or low drinking water threat, the Ministry of the Environment, Conservation and Parks in consultation with other provincial ministries and municipal associations should promote best management practices for the application of road salt, to protect sources of municipal drinking water in any of the following areas: <ul style="list-style-type: none"> <li>• WHPA-A (VS = 10) (existing, future); or</li> <li>• WHPA-B (VS ≤ 10) (existing, future); or</li> <li>• WHPA-C (existing, future); or</li> <li>• WHPA-D (existing, future); or</li> <li>• WHPA-E (VS ≥ 4.5 and &lt;9) (existing, future); or</li> <li>• HVA (existing, future).</li> </ul>	See Chapter 5 of the respective Assessment Report	Existing & Future: Consider within 2 years (T-15)	N/A	N/A





CANADA POST  
2701 RIVERSIDE DRIVE SUITE N0820  
OTTAWA ON K1A 0B1

[CANADAPOST.CA](http://CANADAPOST.CA)

POSTES CANADA  
2701 PROM RIVERSIDE BUREAU N0820  
OTTAWA ON K1A 0B1

[POSTESCANADA.CA](http://POSTESCANADA.CA)

July 04, 2024

**Justin Grainger**  
**Deputy Clerk**

P 519-855-4407 Ext. 223  
E [justin.grainger@erin.ca](mailto:justin.grainger@erin.ca)  
5684 Trafalgar Rd. Hillsburgh  
ON, N0B 1Z0  
[www.erin.ca](http://www.erin.ca)

Reference: PLAN 102, LOT 2L, 185 Main St, Erin, ON – Kensington Square Developments

Canada Post has reviewed the proposal for the above noted Development and has determined that the completed project will be serviced by centralized mail delivery provided through Canada Post Community Mail Boxes.

In order to provide mail service to this development, Canada Post requests that the owner/developer comply with the following conditions:

- ⇒ The owner/developer will consult with Canada Post to determine suitable permanent locations for the placement of Community Mailboxes and to indicate these locations on appropriate servicing plans.
- ⇒ The Builder/Owner/Developer will confirm to Canada Post that the final secured permanent locations for the Community Mailboxes will not be in conflict with any other utility; including hydro transformers, bell pedestals, cable pedestals, flush to grade communication vaults, landscaping enhancements (tree planting) and bus pads.
- ⇒ The owner/developer will install concrete pads at each of the Community Mailbox locations as well as any required walkways across the boulevard and any required curb depressions for wheelchair access as per Canada Post's concrete pad specification drawings.
- ⇒ The owner/developer will agree to prepare and maintain an area of compacted gravel to Canada Post's specifications to serve as a temporary Community Mailbox location. This location will be in a safe area away from construction activity in order that Community Mailboxes may be installed to service addresses that have occupied prior to the pouring of the permanent mailbox pads. This area will be required to be prepared a minimum of 30 days prior to the date of first occupancy.
- ⇒ The owner/developer will communicate to Canada Post the excavation date for the first foundation (or first phase) as well as the expected date of first occupancy.

- ⇒ The owner/developer agrees, prior to offering any of the residential units for sale, to place a "Display Map" on the wall of the sales office in a place readily available to the public which indicates the location of all Canada Post Community Mailbox site locations, as approved by Canada Post and the Town of Erin.
- ⇒ The owner/developer agrees to include in all offers of purchase and sale a statement, which advises the prospective new home purchaser that mail delivery will be from a designated Community Mailbox, and to include the exact locations (list of lot #s) of each of these Community Mailbox locations; and further, advise any affected homeowners of any established easements granted to Canada Post.
- ⇒ The owner/developer will be responsible for officially notifying the purchasers of the exact Community Mailbox locations prior to the closing of any home sales with specific clauses in the Purchase offer, on which the homeowners do a sign off.

***Canada Post further requests the owner/developer be notified of the following:***

- 1 The owner/developer of any condominiums will be required to provide signature for a License to Occupy Land agreement and provide winter snow clearance at the Community Mailbox locations
- 2 Enhanced Community Mailbox Sites with roof structures will require additional documentation as per Canada Post Policy
- 3 There will be no more than one mail delivery point to each unique address assigned by the Municipality
- 4 Any existing postal coding may not apply, the owner/developer should contact Canada Post to verify postal codes for the project
- 5 **The complete guide to Canada Post's Delivery Standards can be found at:**  
[https://www.canadapost.ca/cpo/mc/assets/pdf/business/standardsmanual\\_en.pdf](https://www.canadapost.ca/cpo/mc/assets/pdf/business/standardsmanual_en.pdf)

Please feel free to follow up with any questions.

Regards,

Neil Mazey  
 Delivery Services Officer | Delivery Planning  
 Huron/Rideau Region  
 955 Highbury Ave N  
 London ON N5Y 1A3  
 (519) 281-2253  
[neil.mazey@canadapost.ca](mailto:neil.mazey@canadapost.ca)



## COUNTY OF WELLINGTON

PLANNING AND DEVELOPMENT DEPARTMENT  
Aldo Salis, BES, M.Sc. MCIP, RPP., DIRECTOR  
TEL: (519) 837-2600  
FAX: (519) 823-1694  
1-800-663-0750

ADMINISTRATION CENTRE  
74 WOOLWICH STREET  
GUELPH, ONTARIO  
N1H 3T9

July 11<sup>th</sup>, 2024

BY E-MAIL

Justin Grainger,  
Secretary-Treasurer  
Town of Erin Committee of Adjustment

Dear Mr. Grainger:

**Re: Proposed Minor Variance – A09-24  
2584343 Ontario Inc.  
185 Main Street  
Lot 21, Registered Plan #102**

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Thank you for circulating the above noted application to our office. These comments are offered without the benefit of a site visit. It is our understanding that relief is being requested from Zoning By-law No. 07-67:

**Block 6 To English Street on draft Site Plan**

- To permit a minimum setback of 4.8 metres opposed to the required minimum of 20.5 metres.

**Blocks 4 and 5 of the draft Site Plan**

- To permit a minimum distance of 11.5 metres between Blocks 4 and 5 ground floor main wall opposed to the permitted minimum distance of 13.0 metres.

**Block 8 to Scotch Street on draft Site Plan**

- To permit a minimum setback of 3.5 metres from Block 8 to Scotch Street opposed to the permitted minimum setback of 4.7 metres.

**Blocks 7 and 8 on draft Site Plan**

- To permit a minimum distance between Blocks 7 and 8 ground (first) floor main wall of 19.75 metres opposed to the permitted minimum distance of 20.0 metres.

**Blocks 4, 5 and 6 on draft Site Plan**

- To permit a minimum side yard of 1.5 metres to the ground floor main wall and 1.0 metres to the floors above ground floor opposed to the permitted minimum side yard setback of 2.2 metres.
- To permit a minimum side yard setback of 1.2 metres to the floors above ground (first) floor main wall opposed to the permitted minimum side yard setback of 1.3 metres.



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GUELPH, ONTARIO

N1H 3T9

The subject lands are identified as being located within the Primary Urban Centre (Erin), in the County Official Plan. The Urban Centres are expected to provide a full range of land use opportunities. It is further understood that the subject development has been through a Zoning By-law amendment to in 2021 to establish zoning provisions for the future development of the subject lands. Planning staff note that the proposed variance will facilitate the relocation of surface visitor parking from the English Street frontage to the Scotch Street frontage and other building setback adjustments.

Overall, Staff do not have any concerns with the proposed Minor Variance application.

I trust that these comments will be of assistance to the Committee in their consideration of this matter. We would appreciate a copy of the Committee's decision with respect to this application.

A handwritten signature in cursive script that reads "Jamie Barnes".

Jamie Barnes  
Junior Planner

A handwritten signature in cursive script that reads "Meagan Ferris".

Meagan Ferris, MCIP RPP  
Manager of Planning and Environment





**PLANNING DEPARTMENT**  
**Board Office:** 500 Victoria Road N. Guelph, ON N1E 6K2  
**Email:** [municipal.circulations@ugdsb.on.ca](mailto:municipal.circulations@ugdsb.on.ca)  
**Tel:** 519-822-4420 ext.821 or **Toll Free:** 1-800-321-4025

12 July 2024

Justin Grainger  
 Deputy Clerk  
 Town of Erin  
 5684 Trafalgar Rd.  
 Hillsburgh, ON  
 N0B 1Z0

Dear Mr. Grainger:

**Re: A09-24 185 Main St. Erin**

Planning staff at the Upper Grand District School Board have received and reviewed the above noted minor variance application for the 70-unit townhouse development located at 185 Main St.

As per our original comment letter submitted in March 2020 for the Zoning Bylaw Amendment (see attached), we still require confirmation from the Town that the water and drainage issues at the existing Erin Public School have been addressed and will not be exacerbated by the development.

Should you require additional information, please feel free to contact the undersigned.

Sincerely,

A handwritten signature in black ink that reads 'Hailey Till'.

Hailey Till  
 Planning Technician

PLN: 24-019  
 File Code: R14

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**Upper Grand District School Board**

• Ralf Mesenbrink; Chair	• Jen Edwards	• Irene Hanenberg	• Martha MacNeil	• Alethia O'Hara-Stephenson
• Katherine Hauser; Vice Chair	• Robin Ross	• Luke Weiler	• Laurie Whyte	• Lynn Topping



20 September 2021

PLN: 21-059  
File Code: R14

Tanjot Bal  
Senior Planner  
Town of Erin  
5684 Trafalgar Road  
Hillsburgh, ON N0B 1Z0

Dear Ms. Bal;

**Re: Development Pre-Consultation Meeting  
Kensington Square, 185 Main Street, Erin**

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Planning staff at the Upper Grand District School Board attended the September 14, 2021 Development Pre-Consultation meeting regarding the development proposal at 185 Main Street, also known as Kensington Square.

Board staff provided comments on a Zoning Bylaw Amendment application for this property in March 2020 and have reiterated these same comments at the recent pre-consultation meeting. In addition to providing our standard development conditions, we discussed drainage and sidewalks/traffic concerns. Our March 2020 comment letter is attached for your reference.

Please note that these are preliminary comments and are subject to change. Additional comments may be provided once the revised submissions of the Traffic Impact Study and the Stormwater Management Report are circulated.

Should you require additional information, please feel free to contact the undersigned.

Sincerely,

**Upper Grand District School Board**

Adam Laranjeiro  
Planning Technician  
[adam.laranjeiro@ugdsb.on.ca](mailto:adam.laranjeiro@ugdsb.on.ca)

cc: Ruchika Angrish, Manager of Planning, UGDSB  
Heather Imm, Senior Planner, UGDSB



# UPPER GRAND DISTRICT SCHOOL BOARD

Jennifer Passy BES, MCIP, RPP<sup>22</sup>  
*Manager of Planning*

Board Office: 500 Victoria Road N. Guelph, ON N1E 6K2

Email: [jennifer.passy@ugdsb.on.ca](mailto:jennifer.passy@ugdsb.on.ca)

Tel: 519-822-4420 ext. 820 or Toll Free: 1-800-321-4025

4 March 2020

PLN: 20-016  
File Code: R14

Lisa Champion  
Deputy Clerk  
Town of Erin  
5684 Trafalgar Road  
Hillsburgh, ON N0B 1Z0

Dear Ms. Champion;

**Re: Z19-05**  
**185 Main Street, Erin**

Planning staff at the Upper Grand District School Board has received and reviewed the above noted application for a Zoning By-law Amendment to permit the development of 70 townhouse units in 2 phases (Phase 1 – 54 stacked townhouse units and Phase 2 – 16 townhouse units).

As a result of the demolition of the old school building in 2017, the existing Erin Public School site located at 185 Daniel Street experienced water and drainage issues. We ask that the Town confirm that previous drainage issues have been mitigated, and will not be further exacerbated by the proposed development.

We have reviewed Burnside's Traffic Impact Study dated October 2019 and note the suggestion that English Street could be converted from a one-way street to a two-way street. The timing of this possible conversion is not stated, nor is there any assessment of the impact such a change might have on current traffic patterns in the broader area, or more specifically related to traffic on Daniel Street near the existing Erin Public School site. Should the proposed conversion be pursued, we would request additional information related to the above questions.

The circulated site plan dated October 18, 2019 denotes existing sidewalks along Daniel Street, Scotch Street, and Main Street. We request that as part of the redevelopment, the developer be required to install a sidewalk connection on the south side of English Street. Further, in lieu of sidewalk connections within the development, internal walkways should be connected to the existing sidewalk on Daniel Street in order to provide a direct pedestrian route to existing infrastructure.

In order to maintain safe walking routes for students travelling to and from Erin Public School, we request that the sidewalk access along the south side of Daniel Street be protected and maintained throughout the construction period. This is the only sidewalk on Daniel Street and is an important walking route for students.

Further to the above comments, the proposed application is also subject to the following standard conditions:

- That Education Development Charges shall be collected prior to the issuance of a building permit(s).
- That the developer shall agree in the site plan agreement and condominium declaration that adequate sidewalks, lighting and snow removal (on sidewalks and walkways) will be provided to allow children to walk safely to school or to a designated bus pickup point.

## Upper Grand District School Board

• Martha MacNeil; Chair  
• Mark Bailey

• Barbara Lustgarten Evoy; Vice-Chair  
• Jen Edwards

• Jolly Bedi  
• Mike Foley

• Linda Busuttil  
• Robin Ross

• Gail Campbell  
• Lynn Topping

- That the developer shall agree in the site plan agreement and condominium declaration to advise all purchasers of residential units and/or renters of same, by inserting the following clause in all offers of Purchase and Sale/Lease:

*"In order to limit liability, public school buses operated by the Service de transport de Wellington-Dufferin Student Transportation Services (STWDSTS), or its assigns or successors, will not travel on privately owned or maintained right-of-ways to pick up students, and potential busing students will be required to meet the bus at a congregated bus pick-up point."*

Should you require additional information, please feel free to contact the undersigned.

Sincerely,

**Upper Grand District School Board**

Jennifer Passy, BES, MCIP, RPP  
Manager of Planning





**Minutes of the Town of Erin  
Committee of Adjustment Meeting**

**June 19, 2024  
6:00 PM  
Municipal Council Chamber**

<b>Present:</b>	<b>Robert Fletcher</b>	<b>Chair</b>
	<b>Brad Bruce</b>	<b>Member</b>
	<b>Elizabeth Crighton</b>	<b>Member</b>
	<b>William Oughtred</b>	<b>Member</b>
	<b>Wayne Parkinson</b>	<b>Member</b>
<b>Staff Present:</b>	<b>Justin Grainger</b>	<b>Secretary-Treasurer</b>
<b>Others Present:</b>	<b>Angela Sciberras</b>	<b>Principal, Macaulay Shiomi Howson Ltd.</b>
	<b>Jaclyn Cook</b>	<b>Intermediate Planner, KLM Planning Partners Inc.</b>

**1. Call to Order**

Chair Robert Fletcher called the meeting to order at the hour of 6:00 PM and announced that this meeting has been called under the authority of Section 45(1) of the *Planning Act*, R.S.O. 1990, Chapter P.13, as amended, to seek relief from Zoning By-law 07-67. The Chair stated that the following application will be heard this evening: A06-24.

The Chair stated the purpose of this Public Meeting of the Town of Erin Committee of Adjustment is to allow the presentation of an application for a Minor Variance and to allow interested members of the public the opportunity to ask questions or offer comments with regard to this application. Staff requests that members of the public seeking to pre-register for a meeting or submit written comments email [coa@erin.ca](mailto:coa@erin.ca).

The Chair advised that if any member of the public would like to be notified in writing of the Committee of Adjustment's decision on an application they are to email [coa@erin.ca](mailto:coa@erin.ca) or mail this request to 5684 Trafalgar Road, Hillsburgh, ON N0B 1Z0.

The Secretary-Treasurer explained the appeal process, that certain parties may be eligible to appeal the Committee's decision and must do so within twenty (20) days of notice by filing with the Secretary-Treasurer of the Committee a Notice of Appeal setting out the objection to the decision and the reason in support of the objection accompanied by a payment to the Secretary-Treasurer of the fee set out by the Tribunal under the *Ontario Land Tribunal Act, 2021*.

**2. Approval of Agenda**

**Moved By** Member Oughtred  
**Seconded By** Member Crighton

**Be it resolved that** the Committee hereby approve the agenda as circulated.

Carried

3. Declaration of Pecuniary Interest

None.

4. Requests for Withdrawal or Deferral of Application

None.

5. Notices

The Secretary-Treasurer advised notice was given by mail on June 5th, 2024, to every owner of land within 60 meters (200 ft) of the subject property and to agencies requiring notice as prescribed under the *Planning Act*. Also, public notice was issued on the Town’s website.

The Secretary-Treasurer advised applicable agencies were circulated including the conservation authorities, the County of Wellington, the Ministry of Municipal Affairs and Housing, school boards, Enbridge Gas and Town Staff.

6. Applications

6.1 File Number: A06-24 Part Lot 17, Concession 10 E

**THE PURPOSE AND EFFECT OF THE APPLICATION** is to provide relief from Section 14 of Zoning By-law 07-67, as amended by By-laws 20-53, 23-33, and 23-67, to permit:

On Residential Lot 15 on draft M-Plan (Lot 27 on Plan of Subdivision 23T-12001)

- A minimum rear yard setback of 4.0 m, whereas the By-law provides that the minimum rear yard shall be 7.0 m.

On the residential lots on Block 64 on the draft M-Plan (Block 6 on Plan of Subdivision 23T-12001)

- A minimum rear yard setback of 5.0 m, whereas the By-law provides that the minimum rear yard setback shall be 7.0 m; and,
- A minimum rear yard setback of 6.0 m, whereas the By-law provides that the minimum rear yard setback shall be 7.0 m.

And on the residential lots on Block 65 on draft M-Plan (Block 7 on Plan of Subdivision 23T-12001)

- A minimum rear yard setback of 4.0 m, whereas the By-law provides that the minimum rear yard setback shall be 7.0m; and
- A minimum rear yard setback of 6.0 m, whereas the By-law provides that the minimum rear yard setback shall be 7.0 m.

Angela Sciberras of Macaulay Shiomi Howson Ltd., representative for the Town, and Jaclyn Cook of KLM Planning Partners Inc., representative on behalf of the applicant, addressed the Committee with respect to the application.

6.1.4 Decision of the Committee

Moved By Member Oughtred  
Seconded By Member Bruce

**Be it resolved that** the Town of Erin Committee of Adjustment hereby **APPROVE** the Minor Variance Application A06/24 as the application meets the *Planning Act* tests for a minor variance being:

- 1. The requested variance is considered minor in nature;
- 2. The variance is appropriate for the development or use of the land, building or structure;
- 3. The general intent and purpose of the Zoning Bylaw is maintained; and
- 4. The general intent and purpose of the Official Plan is maintained.

**Carried**

**7. Adoption of Minutes**

**7.1 May 15, 2024, Committee of Adjustment Meeting**

**Moved By** Member Crighton  
**Seconded By** Member Parkinson

**Be it resolved that** the Committee hereby adopts the minutes as circulated for the May 15, 2024, Committee of Adjustment meeting.

**Carried**

**8. Adjournment**

**Moved By** Member Parkinson  
**Seconded By** Member Crighton

**Be it resolved that** the Town of Erin Committee of Adjustment hereby adjourns this Public Meeting held pursuant to section 45 of the *Planning Act* at 6:14 PM.

**Carried**

\_\_\_\_\_  
Chair Robert Fletcher

\_\_\_\_\_  
Secretary-Treasurer Justin Grainger